

NEWCASTLE HOMES RENOVATIONS

# A REMODEL FOR STUART BONE & PAUL RINN 912 E 37TH STREET AUSTIN, TEXAS 78705

## GENERAL NOTES

SPECIFIC MANUFACTURES AND MODEL NUMBERS SHOWN ON THE PLANS ARE INDICATIONS OF QUALITY ONLY. THE OWNER/BUILDER SHALL NOT BE PROHIBITED FROM SUBSTITUTING MATERIALS AND/OR APPLIANCES OF EQUAL QUALITY/STRENGTHS FROM NON-SPECIFIED MANUFACTURERS.

THE OWNER/BUILDER MAY SUBSTITUTE MATERIALS PROVIDED THEY MEET CURRENT BLDG. CODE, AND ARE APPROVED FOR THAT SPECIFIC USE BY THE BUILDING OFFICIAL. PLEASE SEE ADDITIONAL NOTES CALLED OUT ON OTHER SHEETS.

THE GENERAL CONTRACTOR/ HOME OWNER IS RESPONSIBLE FOR THE DESIGN AND PROPER FUNCTION OF PLUMBING, HVAC AND ELECTRICAL SYSTEMS.

THE DESIGNER SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS, ACTS OR OMISSIONS OF THE CONTRACTOR OR SUBCONTRACTOR, OR FAILURE OF ANY OF THEM TO CARRY OUT WORK IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS. AND DEFECT DISCOVERED IN THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THIS OFFICE BY WRITTEN NOTICE BEFORE PROCEEDING WITH WORK. REASONABLE TIME NOT ALLOWED THIS OFFICE TO CORRECT THE DEFECT SHALL PLACE THE BURDEN OF COST AND LIABILITY FROM SUCH DEFECT UPON THE CONTRACTOR.

THIS STRUCTURE SHALL BE ADEQUATELY BRACED FOR WIND LOADS UNTIL THE ROOF, FLOOR AND WALLS HAVE BEEN PERMANENTLY FRAMED TOGETHER AND SHEATHED.

INSTALL CAULKING AT FLOOR AND PLATE LINES, OPENINGS IN PLATES, CORNER STUD CAVITIES AND AROUND DOOR AND WINDOW ROUGH OPENING CAVITIES.

EXHAUST ALL VENTS AND FANS DIRECTLY TO OUTSIDE VIA METAL DUCTS. PROVIDE 50 CFM (MIN) FANS TO PROVIDE 5 AIR CHANGES PER HOUR IN BATHS CONTAINING TUB AND / OR SHOWER AND IN LAUNDRY ROOMS.

PROVIDE SOLID BLOCKING UNDER ALL BEARING WALLS PERPENDICULAR TO JOISTS AND OTHER BEARING POINTS NOT OTHERWISE PROVIDED WITH SUPPORT.

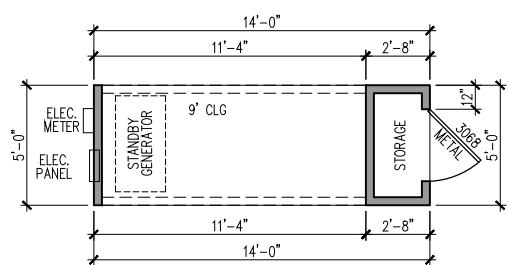
THE GENERAL CONTRACTOR SHALL FULLY COMPLY WITH THE 2021 IRC AND ALL ADDITIONAL STATE AND LOCAL CODE REQUIREMENTS. 2021 IEC AND 2021 IMC SHALL BE USED.

THE BUILDER/OWNER SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THESE PLANS BEFORE STARTING WORK. WORK NOT SPECIFICALLY DETAILED SHALL BE CONSTRUCTED TO THE SAME QUALITY AS SIMILAR WORK THAT IS DETAILED.

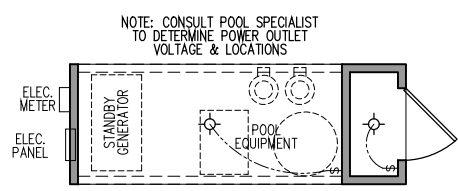
THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY WORK KNOWINGLY PERFORMED CONTRARY TO SUCH LAWS, ORDINANCES, OR REGULATIONS. THE CONTRACTOR SHALL ALSO PERFORM COORDINATION WITH ALL UTILITIES AND STATE SERVICE AUTHORITIES. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE GENERAL CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS) AND CONDITIONS ON THE JOB.

DRAWING INDEX		PROJECT INFO:	CODE COMPLIANCE:
LABEL	TITLE		
C-1	COVER SHEET	REMODEL	INTERNATIONAL RESIDENTIAL CODE (IRC) 2021 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) 2021
A1.0	SITE PLAN & POOL EQUIPMENT DRAWINGS	- PROJECT ADDRESS: 912 E 37th Street, AUSTIN, TX 78705	TYPE OF CONSTRUCTION: GROUP R-3 RESIDENTIAL SINGLE FAMILY DWELLING, WOOD FRAME
A1.1	SITE PLAN CITY NOTES	- OWNER CONTACT: STUART BONE & PAUL RINN	
A2.0	FOUNDATION FORMSET & ROOF PLANS	- BUILDER: NH2	
A3.0	FIRST FLOOR PLANS	- ENGINEER: TCB STRUCTURAL, PH. 512-253-8878	
A4.0	EXISTING & PROPOSED FRONT & REAR ELEVATIONS		
A4.1	EXISTING & PROPOSED RIGHT ELEVATIONS		
A4.2	EXISTING & PROPOSED LEFT ELEVATIONS		
A6.0	ELECTRICAL & JOIST PLANS		
A6.1	REAR PORCH SECTION		
A7.0	INTERIOR ELEVATIONS		

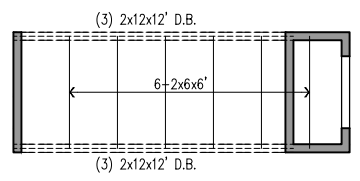
Revision Table			
#	Date	Revised By	Description
1	8-15-24	GR	Initial complete set
2	8-20-24	DC	Revisions for city subm. 1
3	8-21-24	DC	square footage corrections
4	9-03-24	DC	tree info updated



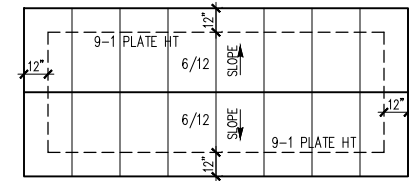
**OUTDOOR EQUIPMENT PAD PLAN**  
SCALE: 1/8"=1'-0"



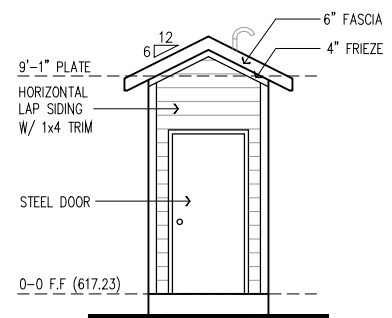
**OUTDOOR EQUIPMENT PAD ELECTRICAL PLAN**  
SCALE: 1/8"=1'-0"



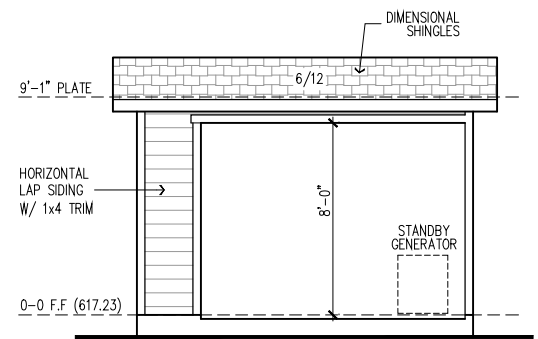
**OUTDOOR EQUIPMENT JOIST PLAN**  
SCALE: 1/8"=1'-0"



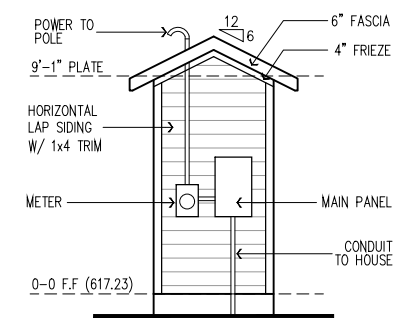
**OUTDOOR EQUIPMENT ROOF PLAN**  
SCALE: 1/8"=1'-0"



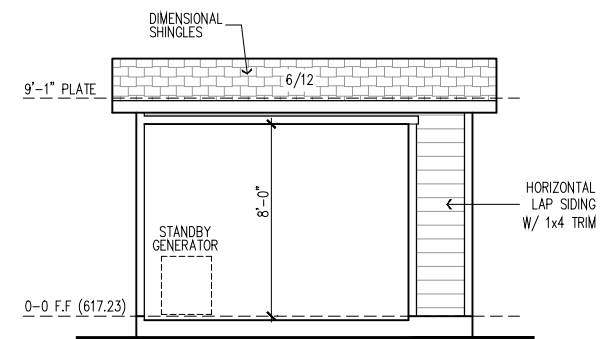
**OUTDOOR EQUIPMENT PAD FRONT ELEVATION**  
SCALE: 1/8"=1'-0"



**OUTDOOR EQUIPMENT PAD RIGHT ELEVATION**  
SCALE: 1/8"=1'-0"



**OUTDOOR EQUIPMENT PAD REAR ELEVATION**  
SCALE: 1/8"=1'-0"

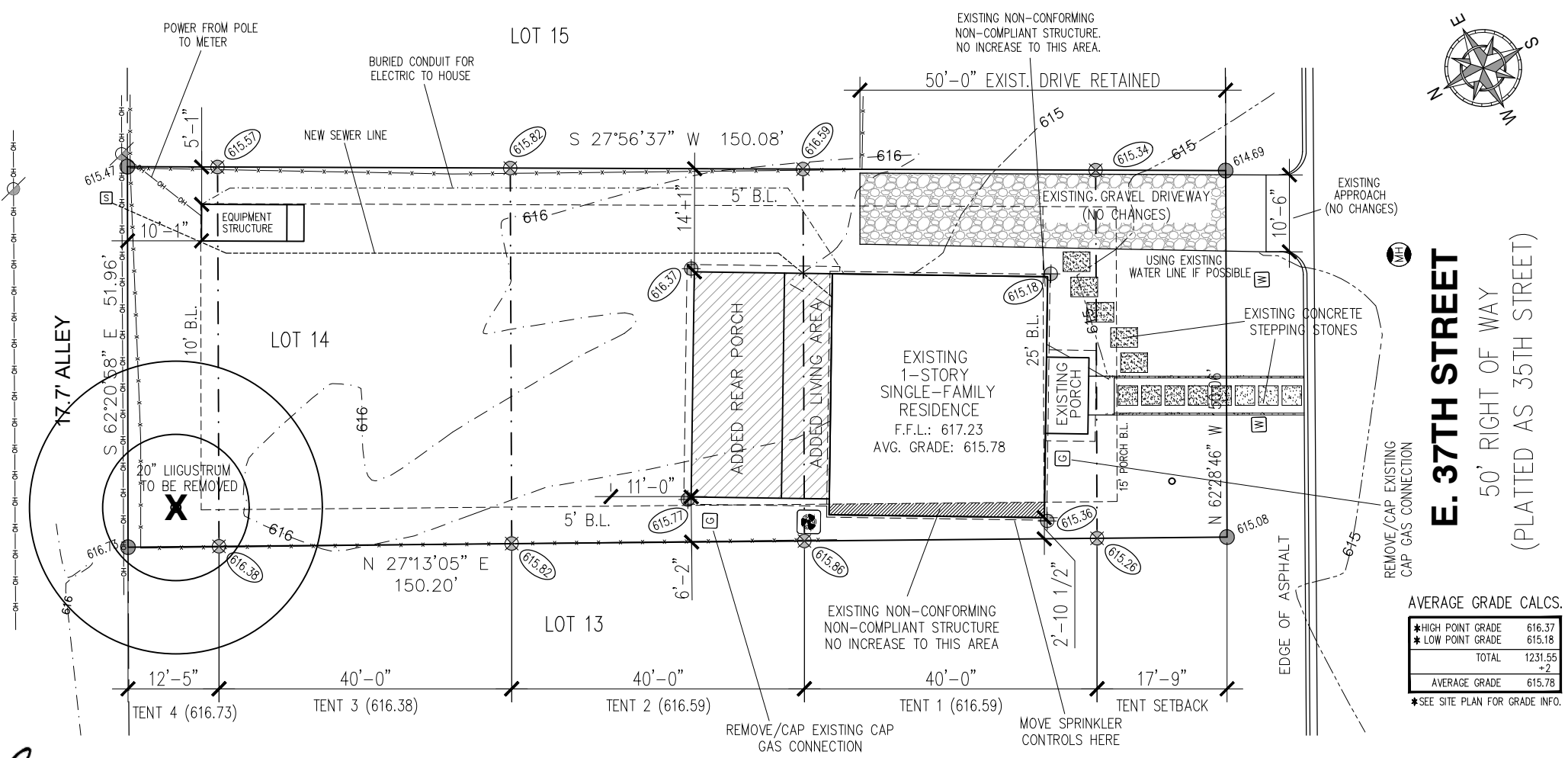


**OUTDOOR EQUIPMENT PAD LEFT ELEVATION**  
SCALE: 1/8"=1'-0"



September 3, 2024

*Daniel W. Carlson*



CoA PROPERTY PROFILE

ADDRESS: 912 E. 37th Street		
AUSTIN, TX 78705		
ZONING: SF-3	NEIGHBORHOOD: HANCOCK	
IMP. COVER/PARKING: YES	GARAGE PLACEMENT: YES	F. PORCH SETBACK: YES
WITHIN 1/4-MILE OF TRANSIT CORRIDOR?: NO		
NUMBER OF PARKING SPACES NEEDED: 0		
WILDLAND URBAN INTERFACE: NO		

- LEGEND**
- FOUND MONUMENT AS NOTED
  - ⊕ POWER POLE
  - ⊕ GAS METER
  - ⊕ WATER METER
  - ⊕ SEWER CONNECT
  - ⊕ CLEANOUT
  - ⊕ MANHOLE
  - ⊕ 4'x4' AIR CONDITIONING UNIT
  - ⊕ CHAINLINK FENCE
  - ⊕ OVERHEAD LINE

AVERAGE GRADE CALCS.

*HIGH POINT GRADE	616.37
*LOW POINT GRADE	615.18
TOTAL	1231.55
AVERAGE GRADE	615.78

\*SEE SITE PLAN FOR GRADE INFO.

SCALE: 1"=20'

DATE: 9/3/2024

DRAWN BY: DWC

912 E 37th Street

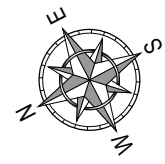
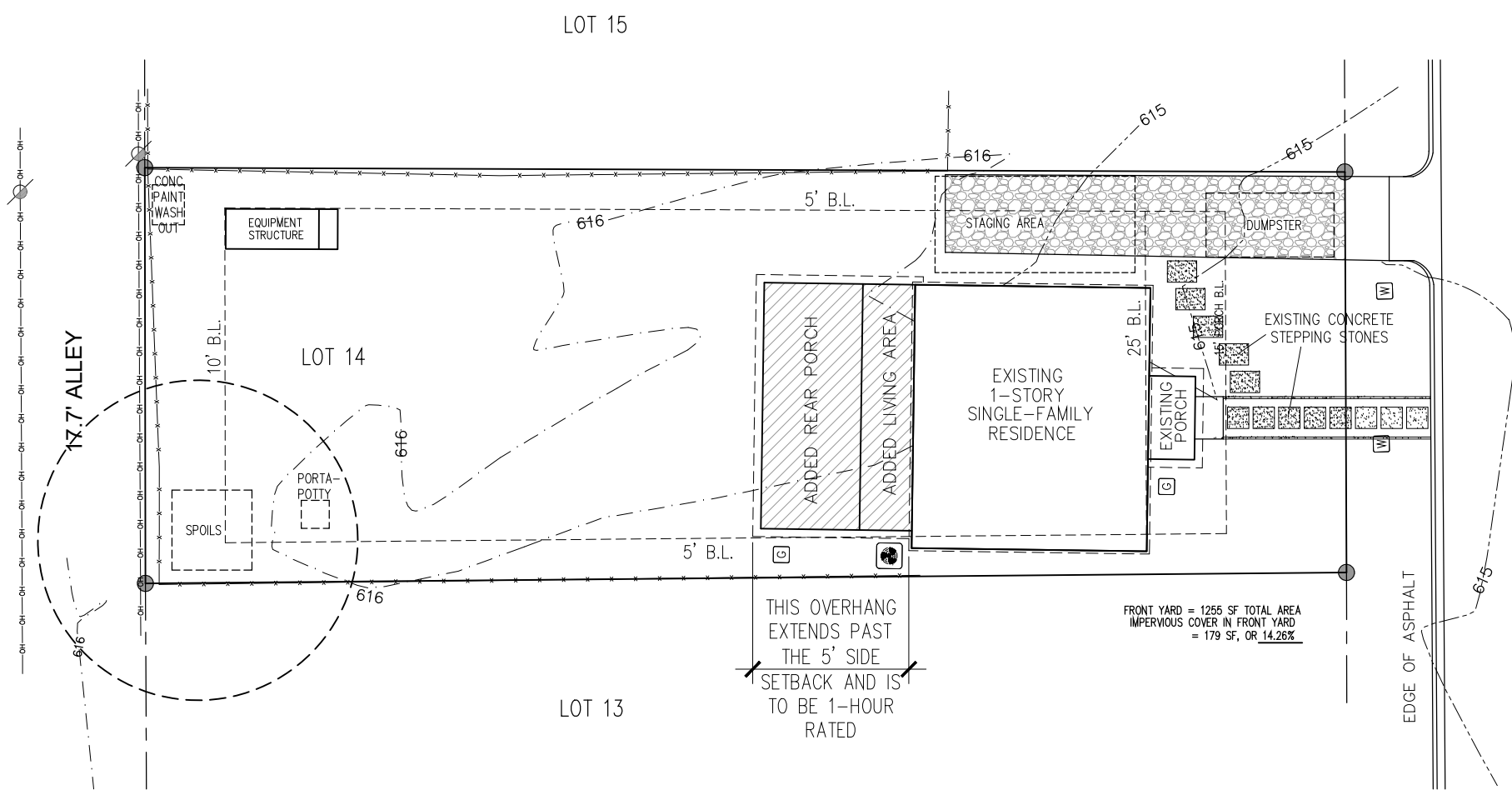
Austin, TX 78703

Lot 14, Sunny Ridge Addition

BONE-RINN REMODEL

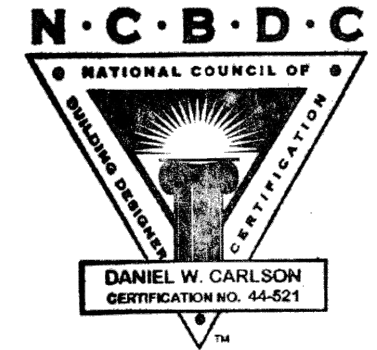
SITE PLAN

A1.0



**E. 37TH STREET**  
50' RIGHT OF WAY  
(PLATTED AS 35TH STREET)

- LEGEND**
- FOUND MONUMENT AS NOTED
  - ⊘ POWER POLE
  - Ⓜ GAS METER
  - Ⓦ WATER METER
  - CLEANOUT
  - Ⓜ MANHOLE
  - ⊠ 4'X4' AIR CONDITIONING UNIT
  - CHAINLINK FENCE
  - OVERHEAD LINE



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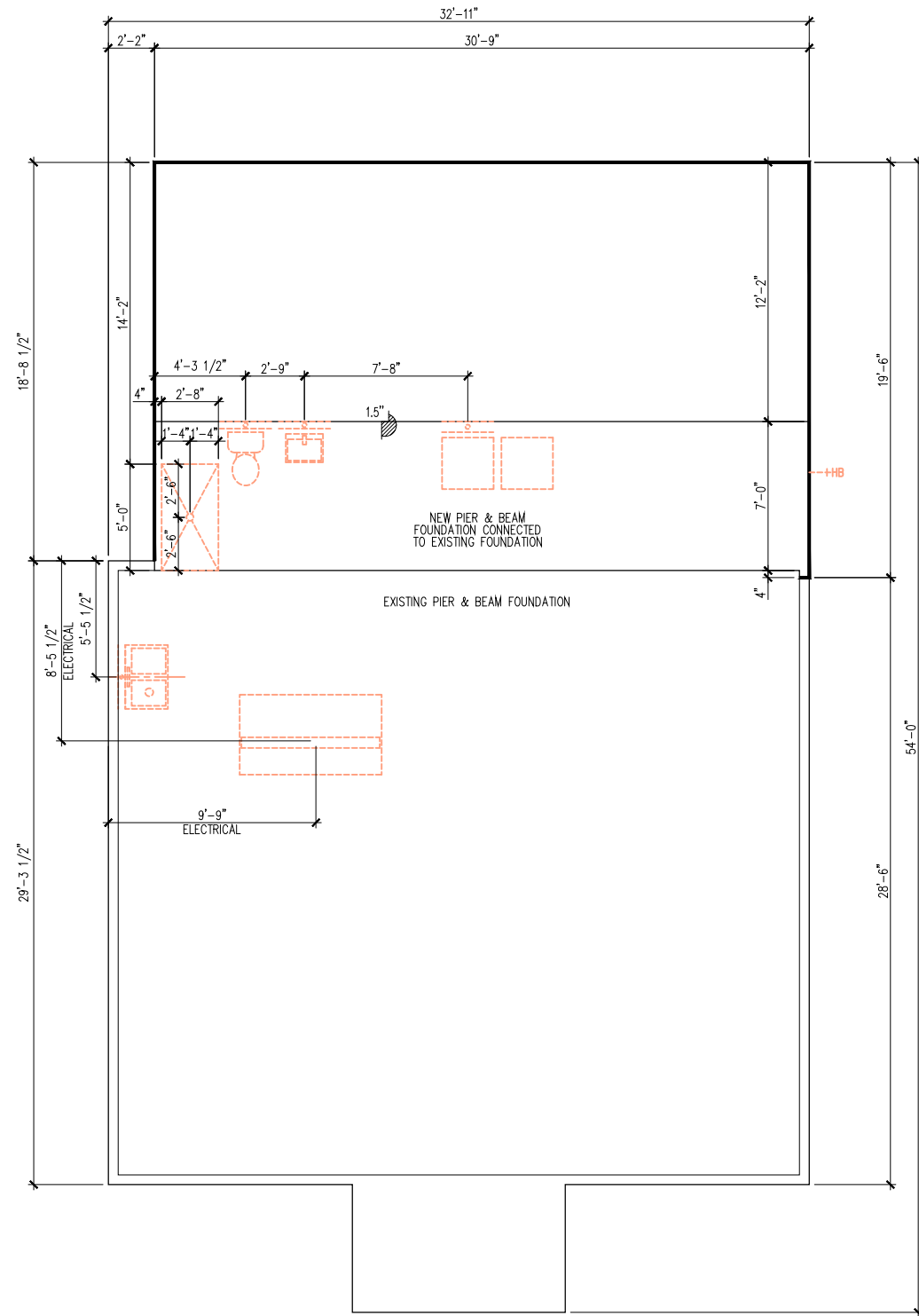
**SCALE:** 1"=20'  
**DATE:** 9/3/2024  
**DRAWN BY:** DWC

**912 E 37th Street**  
**Austin, TX 78703**  
**Lot 14, Sunny Ridge Addition**

**BONE-RINN REMODEL**

**SITE PLAN CITY NOTES**

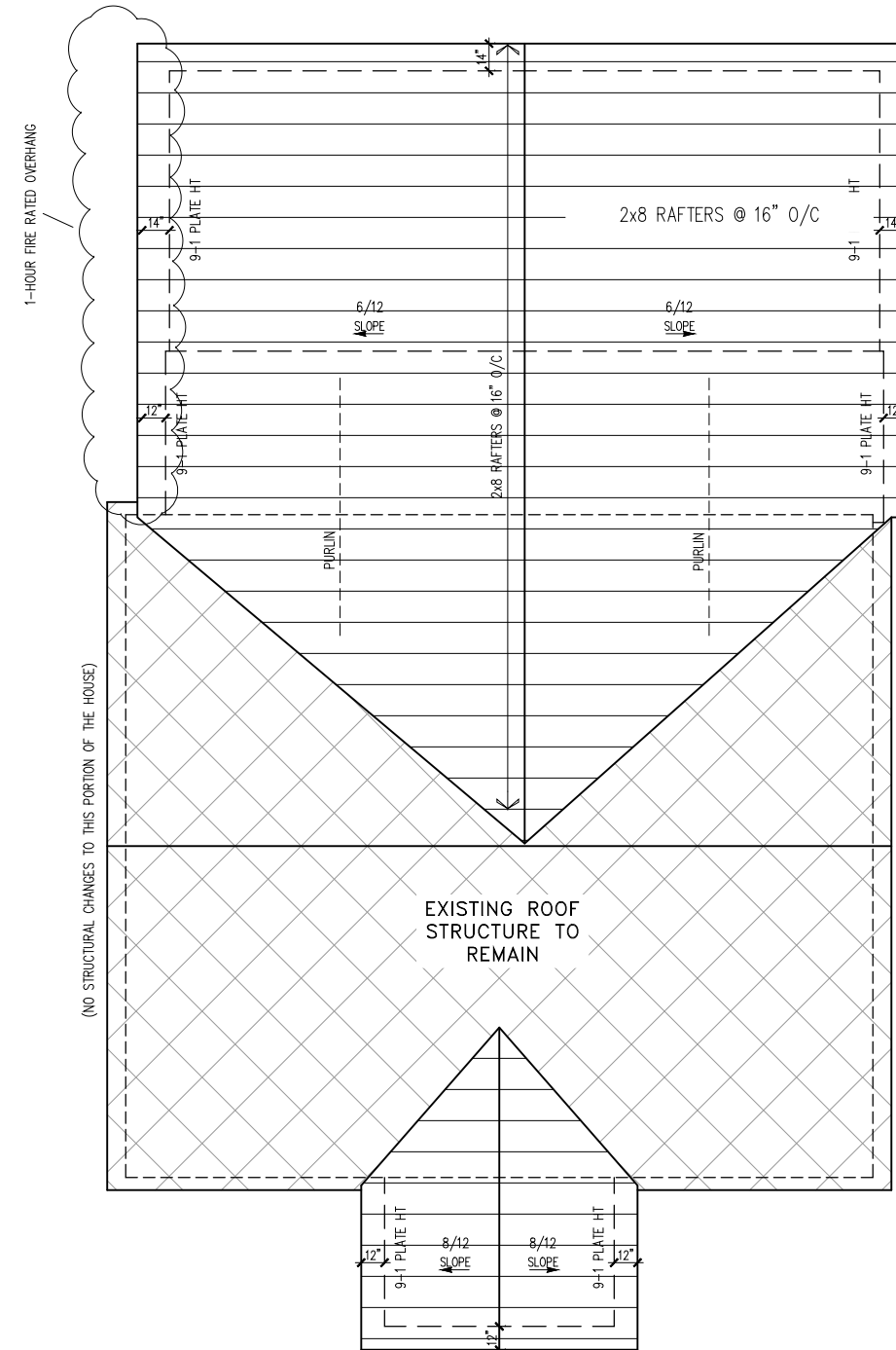
**A1.1**



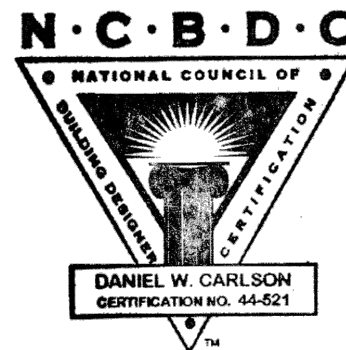
FOUNDATION FORMSET PLAN

**CENTRAL TEXAS ROOF PLAN**

UNLESS OTHERWISE NOTED: ALL MEMBERS TO BE NO.2 GRADE 2x8's S.Y.P. @ 16" O.C.  
 PURLINS TO BE SUPPORTED BY STRUTS (no smaller than 2x4). STRUTS INSTALLED TO BEARING WALLS OR BEAM AT A SLOPE NOT LESS THAN 45°. STRUTS SHALL BE SPACED NOT MORE THAN 4'-0" O.C. AND THE UNBRACED LENGTH SHALL NOT TO EXCEED 8'-0".  
 PURLIN SHALL NEVER BE SMALLER THAN SUPPORTED RAFTER.  
 OVERHANGS @ 6/12 PITCH TO BE 14" FROM OUTSIDE FACE OF FRAME, OTHERS TO MATCH.  
 OVERHANGS @ GABLE ENDS TO BE 14" FROM OUTSIDE FACE OF FRAME.  
 NOTE: REFER TO SLOPE CEILING SECTION ON TYPICAL DETAIL SHEET.  
 CRIPPLES ARE TO BE PROVIDED FOR ALL JOISTS FASTENED TO RAFTERS.



ROOF FRAMING PLAN



September 3, 2024

*Daniel W. Carlson*



BIRDSONG  
DESIGN GROUP

NEWCASTLE HOMES RENOVATIONS

SCALE: 1/8" = 1'-0"

DATE: 9/3/2024

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912 E 37th Street

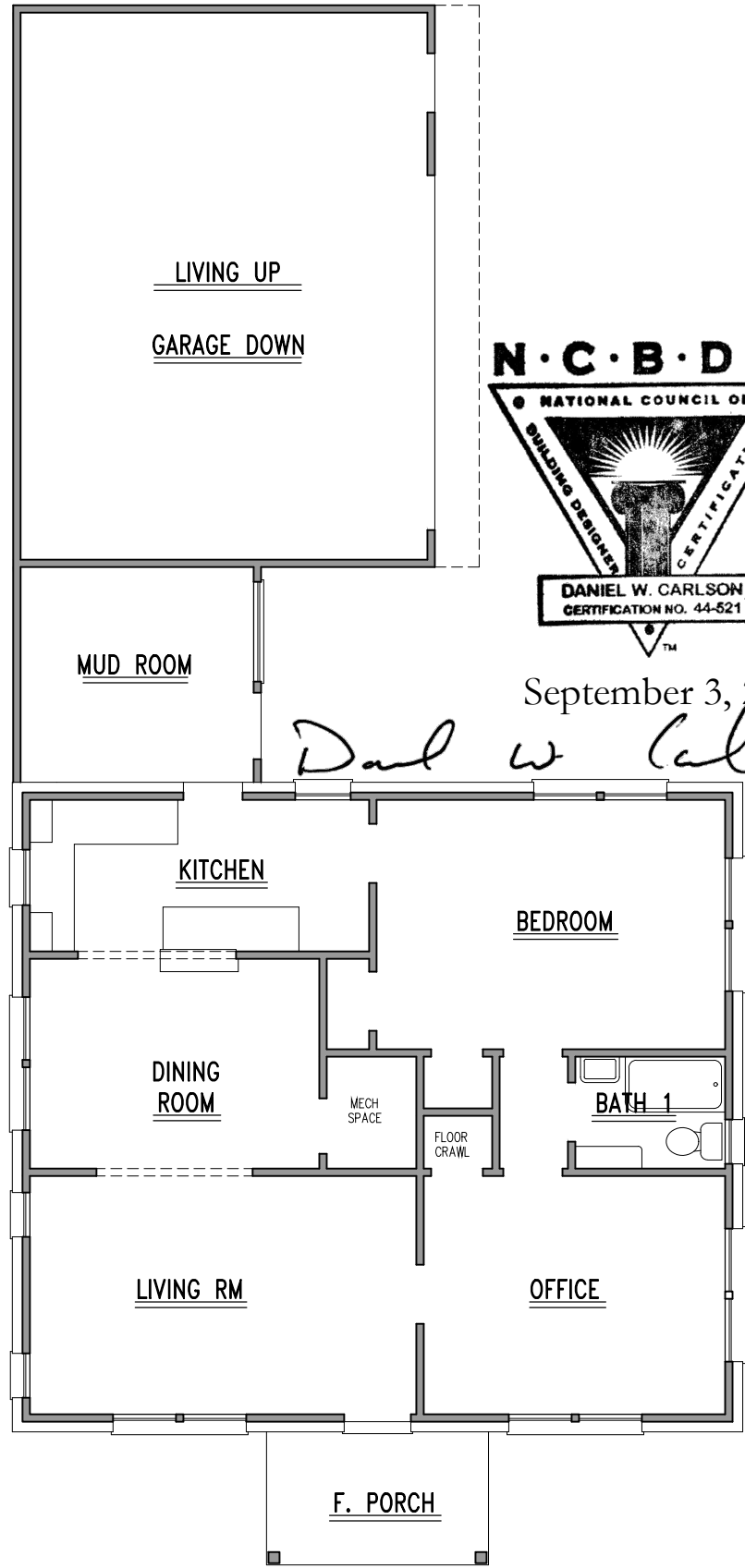
Austin, TX 78703

Lot 14, Sunny Ridge Addition

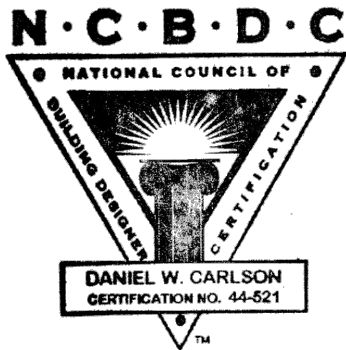
BONE-RINN  
REMODEL

Formset Plan  
Roof Plan

**A2.0**

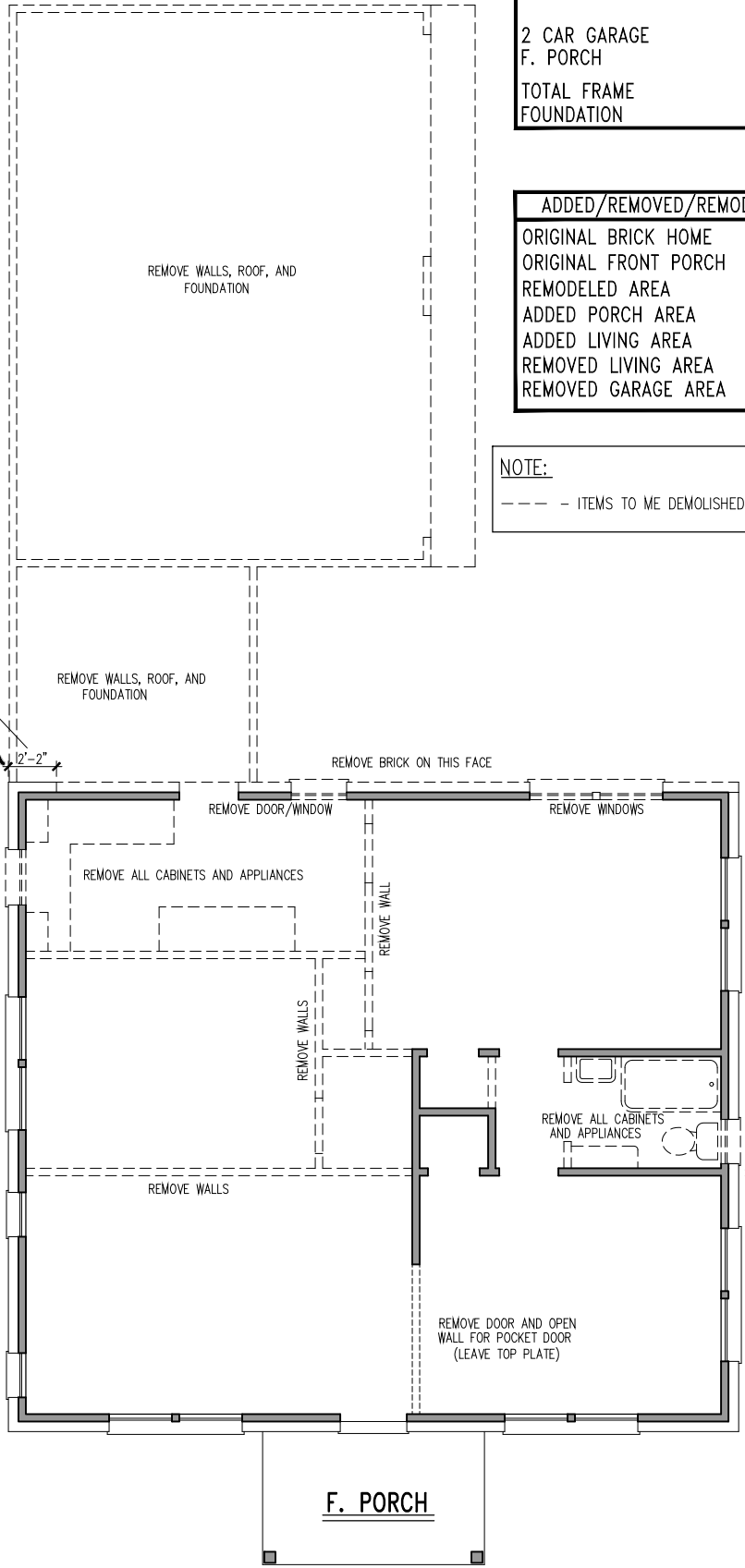


EXISTING FLOOR PLAN



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DEMOLITION PLAN

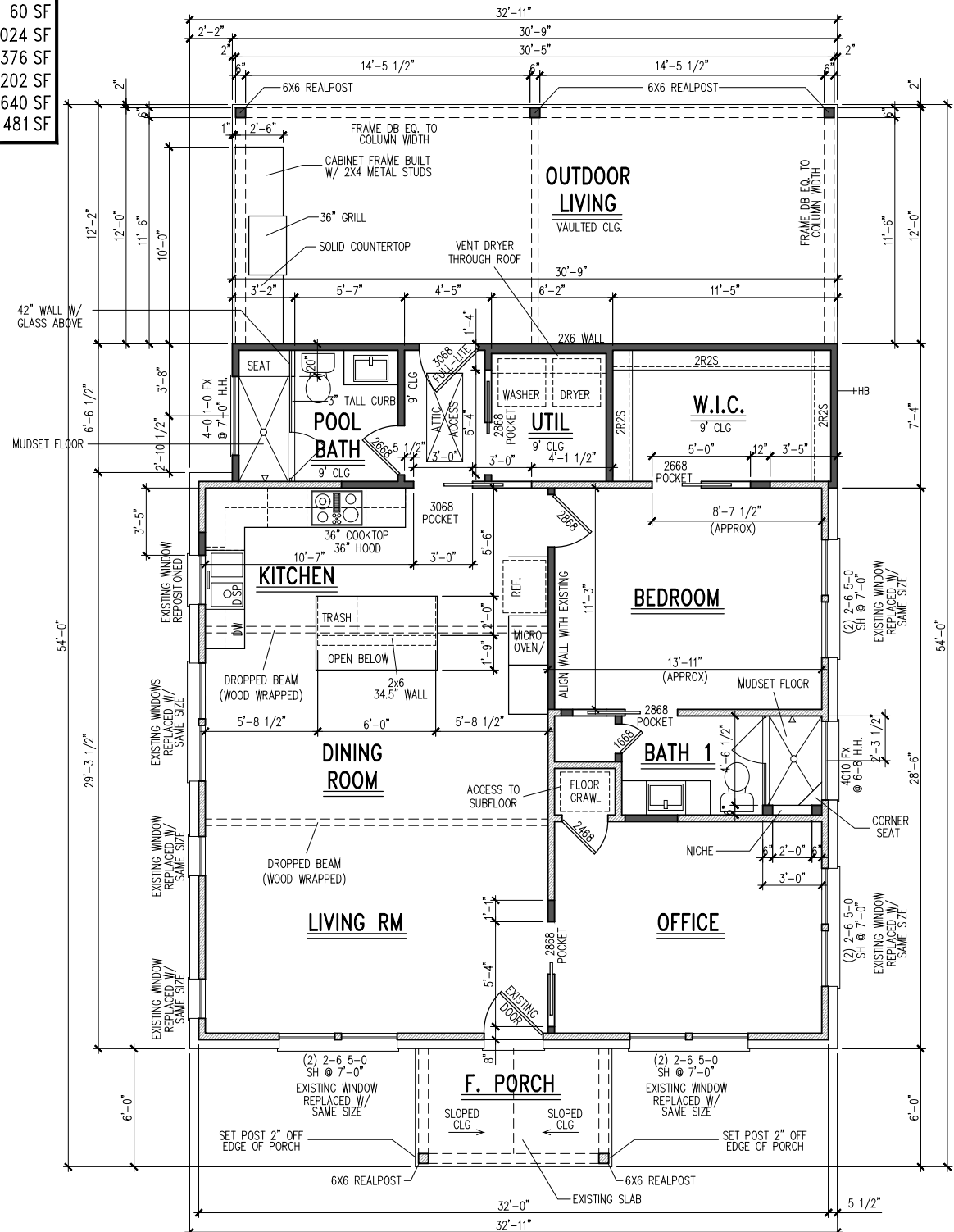
EXISTING SQUARE FOOTAGES	
ORIGINAL BRICK HOME	964 SF
MUD ROOM	108 SF
LIVING OVER GARAGE	532 SF
EXISTING LIVING AREA	1604 SF
2 CAR GARAGE	481 SF
F. PORCH	60 SF
TOTAL FRAME	2145 SF
FOUNDATION	1613 SF

ADDED/REMOVED/REMODELED	
ORIGINAL BRICK HOME	964 SF
ORIGINAL FRONT PORCH	60 SF
REMODELED AREA	1024 SF
ADDED PORCH AREA	376 SF
ADDED LIVING AREA	202 SF
REMOVED LIVING AREA	640 SF
REMOVED GARAGE AREA	481 SF

NOTE:  
--- ITEMS TO BE DEMOLISHED

CITY OF AUSTIN CALCULATIONS			
F.A.R.	IMP. COVERAGE	BLDG COVER	GROSS
CITY OF AUSTIN MAX ALLOWED	.40	45.0%	40.0%
FLOOR 1 LIVING	1168	1168	1168
F. PORCH	60	60	60
R. PORCH	376	376	376
EQUIP. PAD	72	72	72
SIDEWALK	90		90
DRIVEWAY GRAVEL	321		321
A/C PADS	9		9
TOTAL AREA	1174	2102	1682
LOT AREA	7658	7658	7658
MAX ALLOWED	.1533	27.45%	21.96%
TOTAL CALCULATION	3063	3446	3063

NOTE:



FIRST FLOOR PLAN



BIRDSONG DESIGN GROUP  
NEWCASTLE HOMES RENOVATIONS

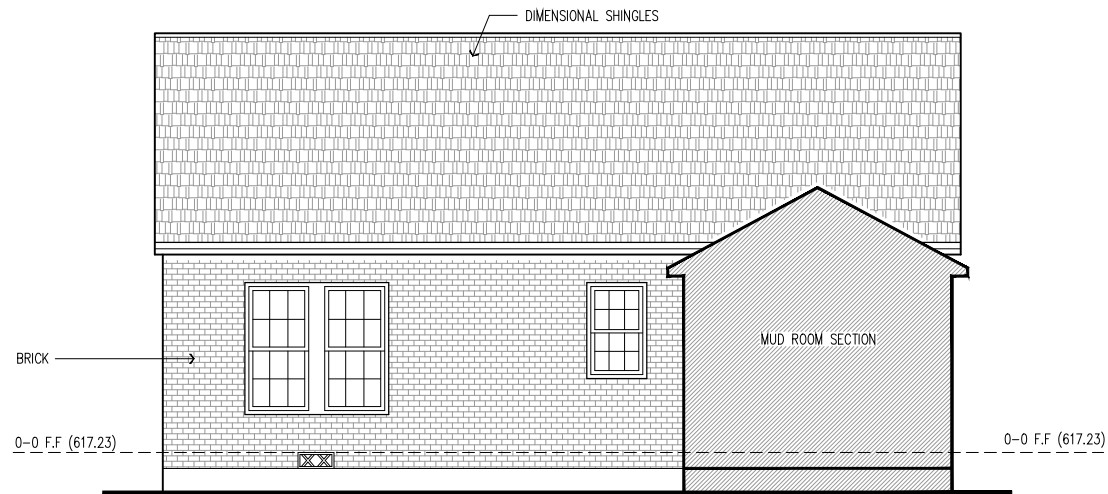
SCALE: 1/8" = 1'-0"  
DATE: 9/3/2024  
DRAWN BY: DWC

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Austin, TX 78703  
Lot 14, Sunny Ridge Addition

BONE-RINN REMODEL

Floor 1 Plans

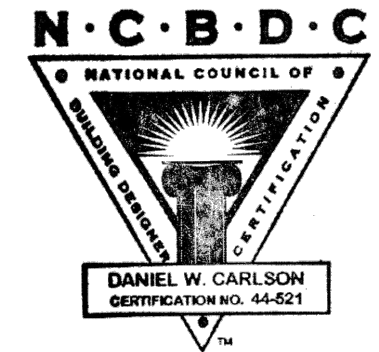
A3.0



EXISTING REAR ELEVATION

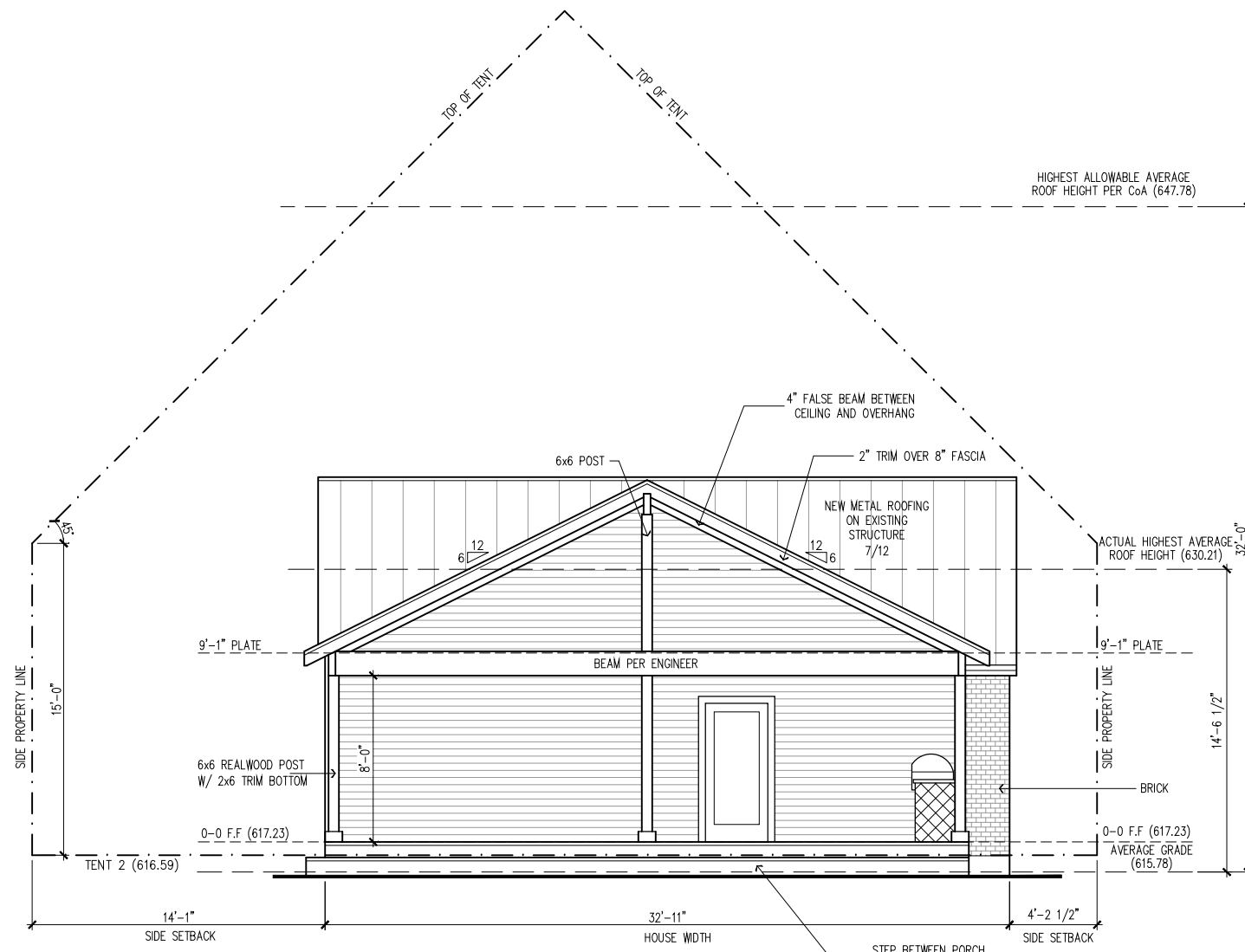


EXISTING FRONT ELEVATION

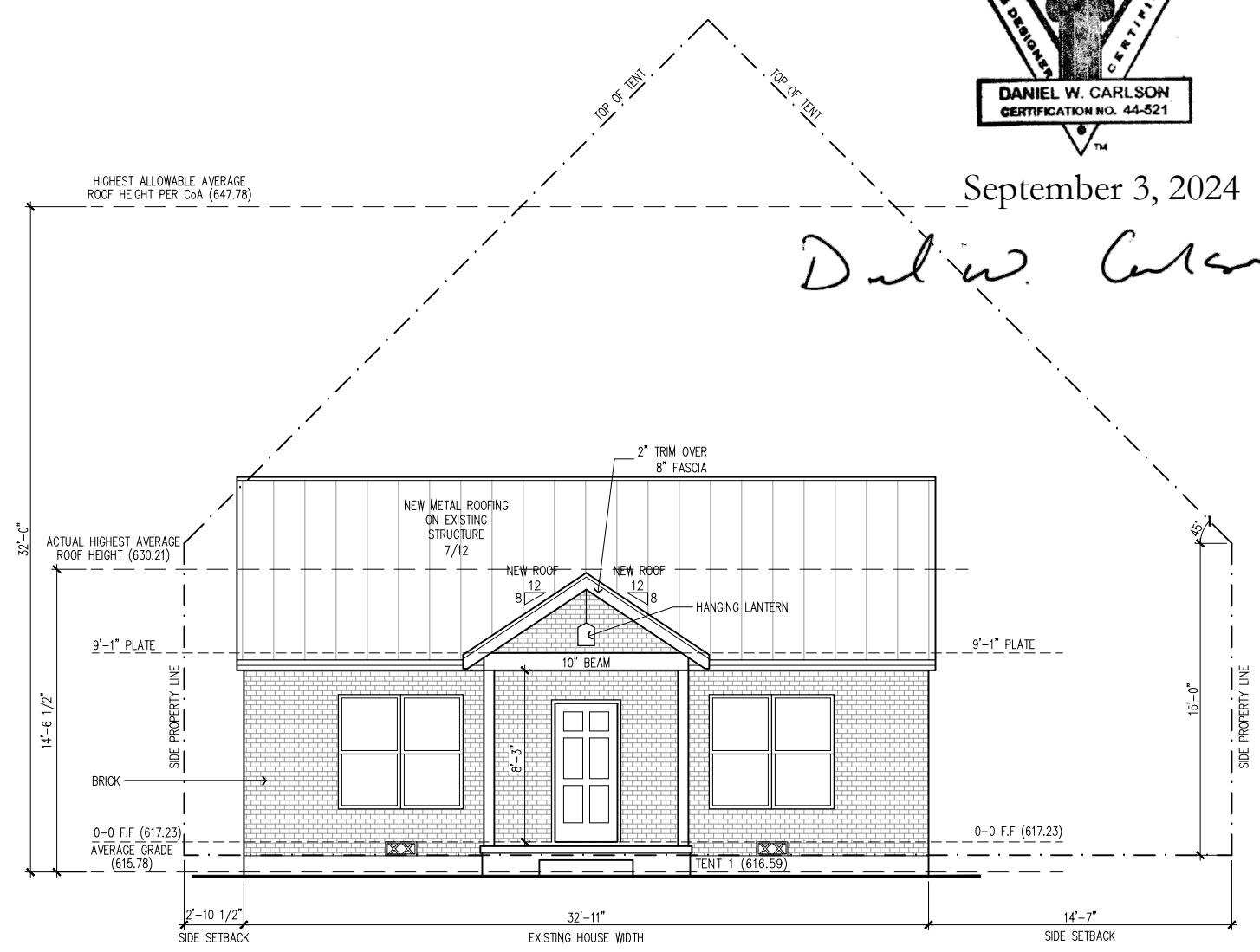


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PROPOSED REAR ELEVATION



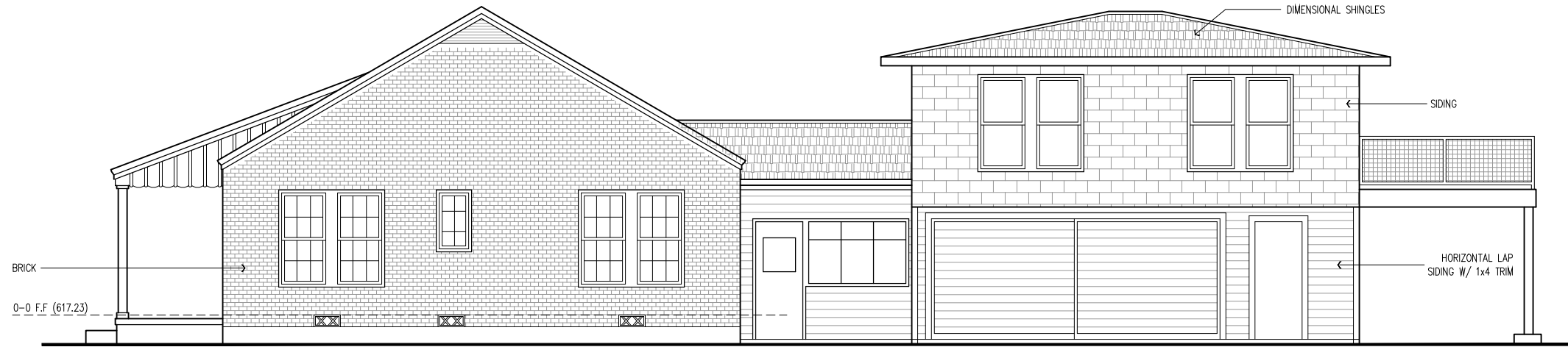
PROPOSED FRONT ELEVATION

SCALE: 1/8" = 1'-0"
DATE: 9/3/2024
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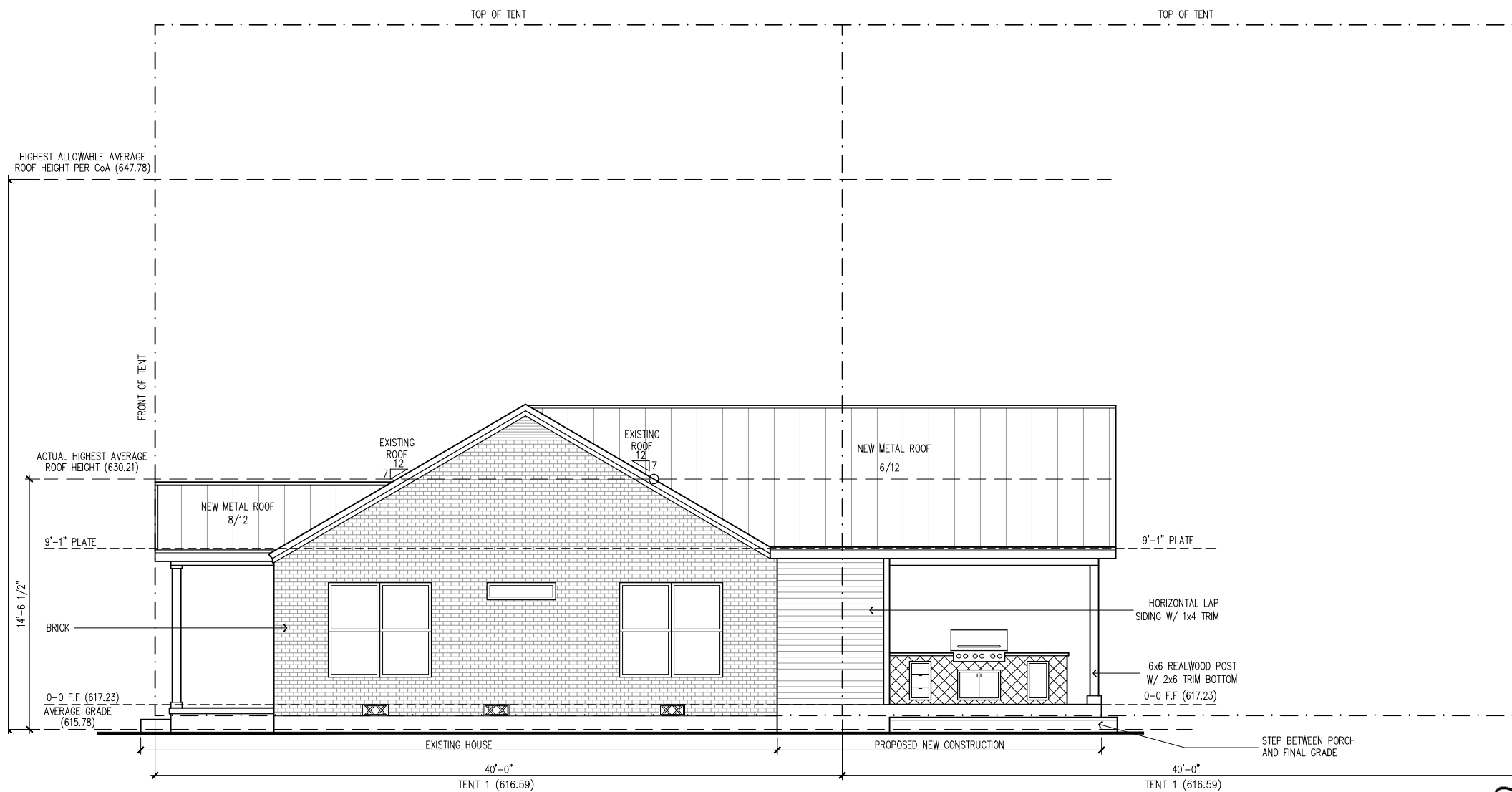
912 E 37th Street  
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Lot 14, Sunny Ridge Addition

BONE-RINN REMODEL

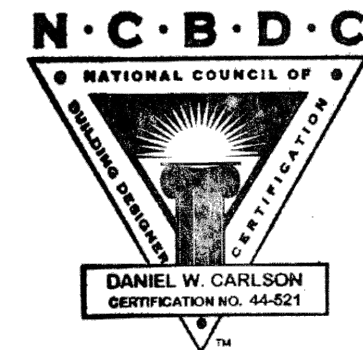
Existing Front & Right Elevations



EXISTING RIGHT ELEVATION



PROPOSED RIGHT ELEVATION



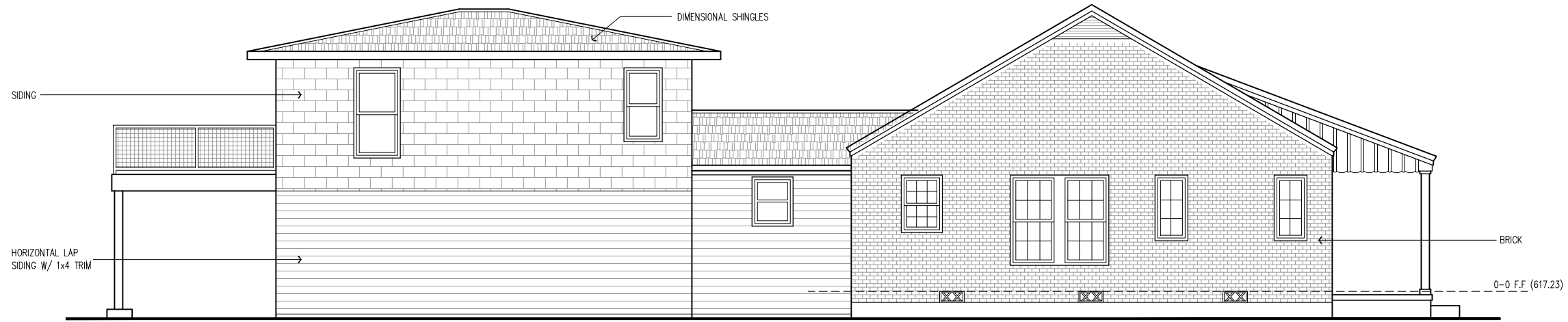
September 3, 2024

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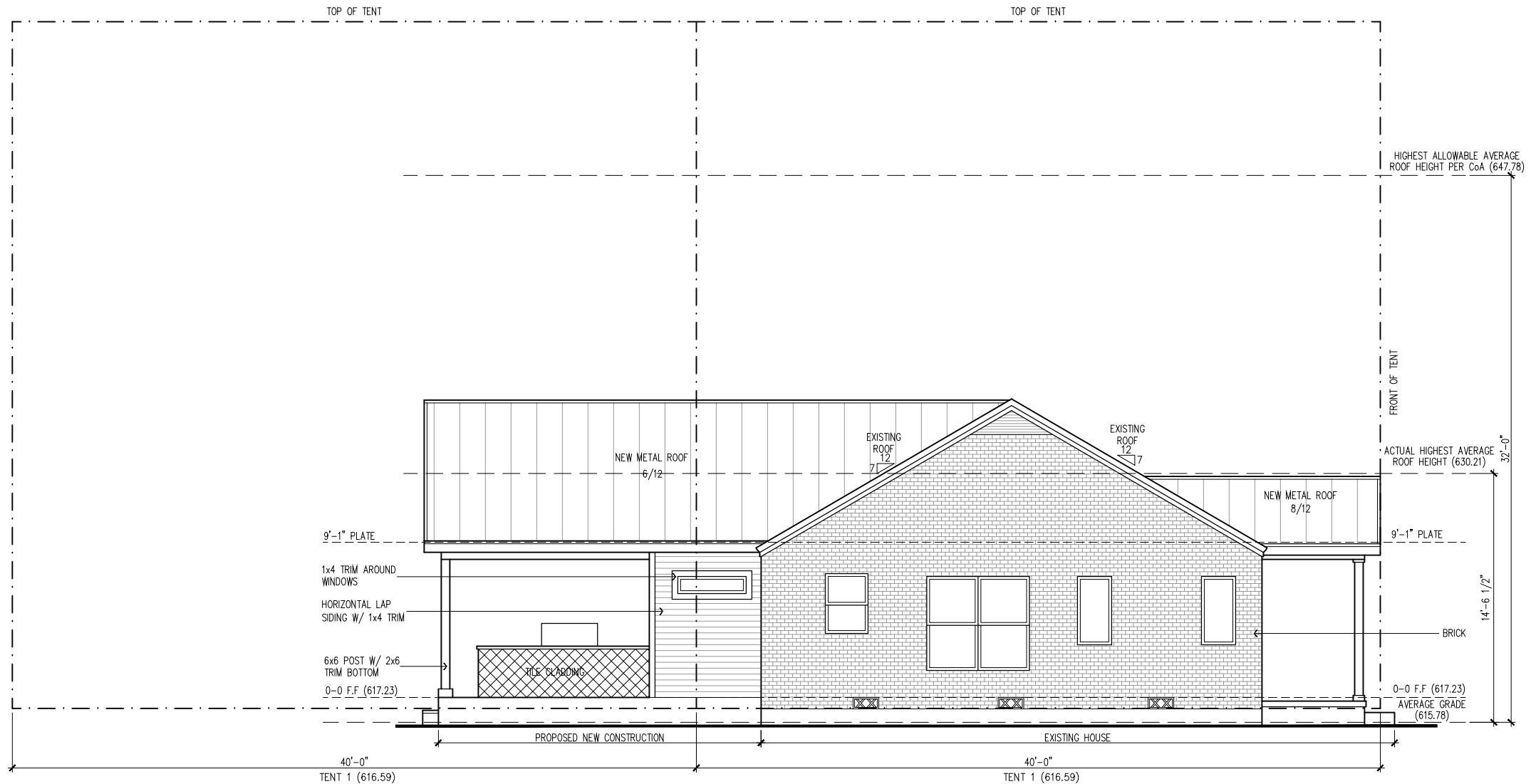
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Lot 14, Sunny Ridge Addition

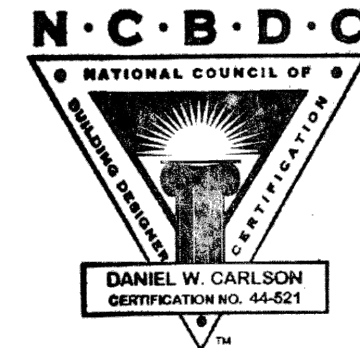
BONE-RINN REMODEL
Existing Rear & Left Elevations



EXISTING LEFT ELEVATION



PROPOSED LEFT ELEVATION



September 3, 2024

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SCALE: 1/8" = 1'-0"

DATE: 9/3/2024

DRAWN BY: DWC

912 E 37th Street

Austin, TX 78703

Lot 14, Sunny Ridge Addition

BONE-RINN  
REMODEL

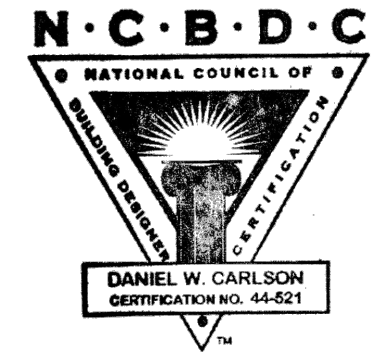
Prop. Front &  
Right Elevations

**A4.2**



**UTILITY LEGEND**

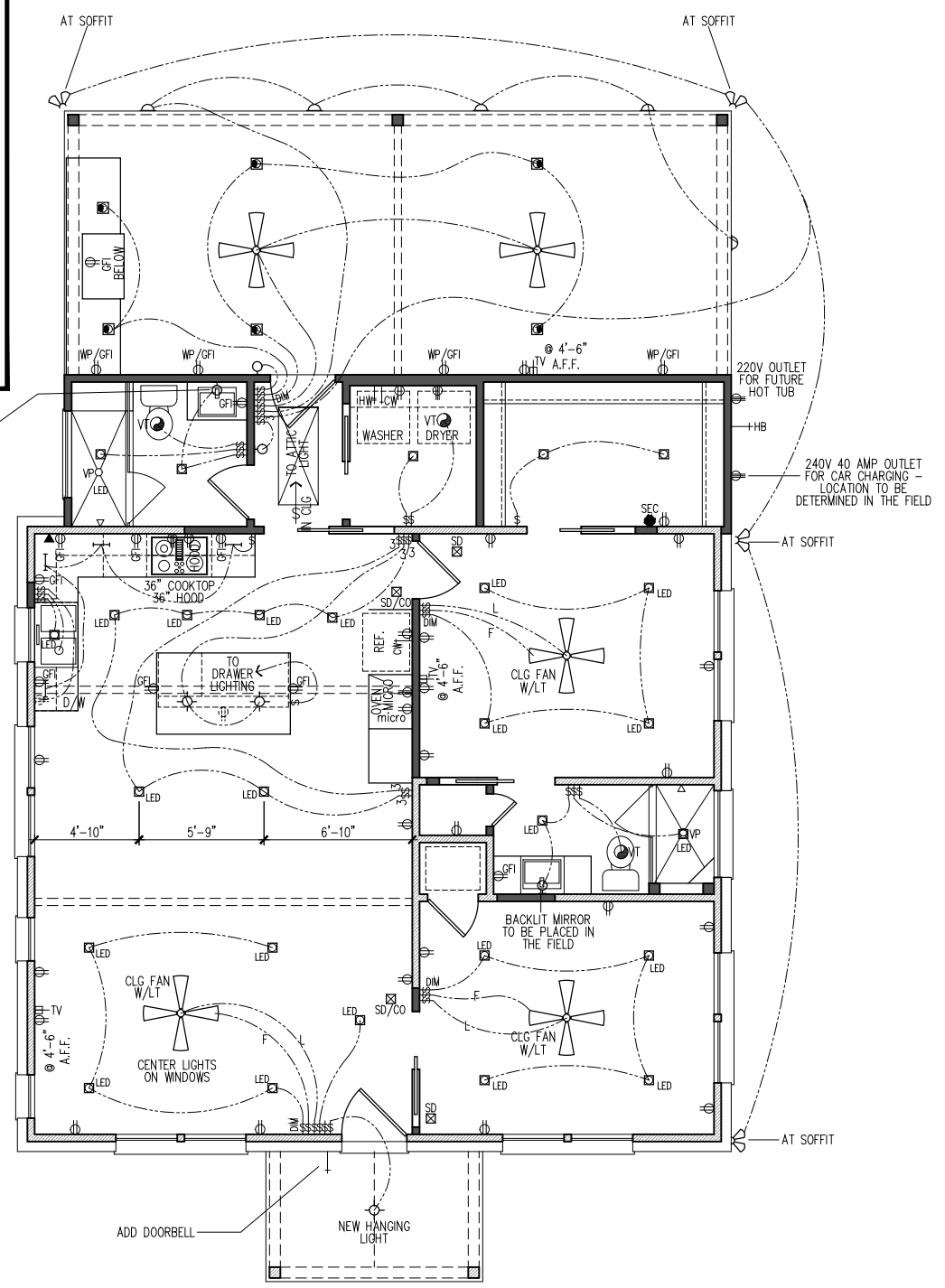
- ⊕ 110V OUTLET  
12" A.F.F. (U.N.O.)
- ⊕ GFI  
GROUND FAULT INTERRUPTOR  
(WEATHER PROOF AS NOTED)
- ⊕ 220 OUTLET  
(36" A.F.F. @ UTILITY)
- ▼ PHONE LINE
- TV CABLE TELEVISION
- ⊕ STANDARD SWITCH  
(3 OR 4 WAY AS NOTED)
- ⊕ SURFACE MOUNTED LIGHT
- ⊕ WALL MOUNTED LIGHT
- ⊕ LED FLUSH MOUNT LIGHT -  
4"CANS W/ DIMMERS
- △ STEP LIGHTS
- ▽ UNDER CABINET LIGHT
- VT EXHAUST VENT
- SD SMOKE DETECTOR  
(CARBON MONOXIDE AS NOTED)
- ⊕ DOOR BELL
- CHIMES DOOR BELL CHIMES
- ELEC. PANELBOARD W/  
CIRCUIT BREAKERS
- HB HOSE BIB
- GAS GAS TAP
- CW HW COLD/HOT WATER SUPPLY



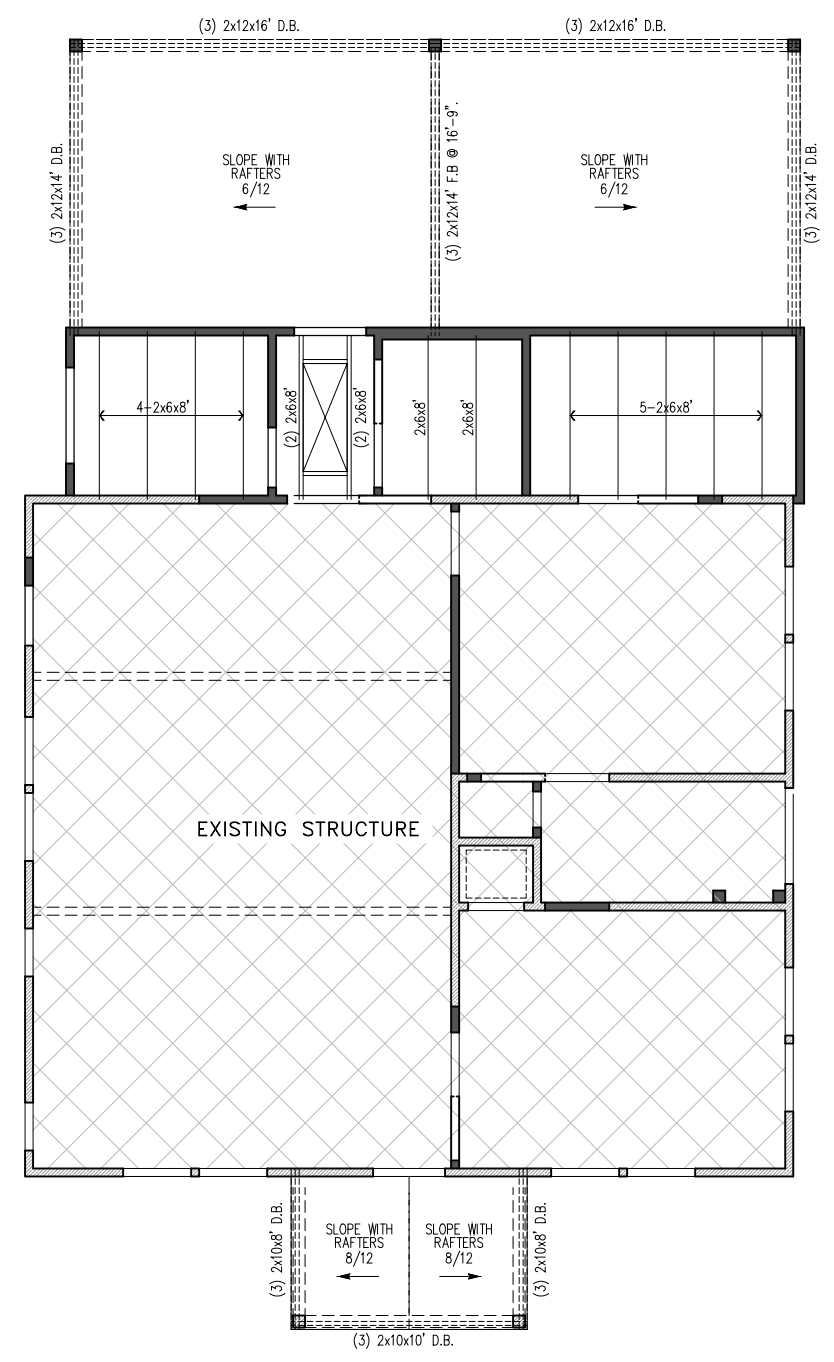
September 3, 2024  
*Daniel W. Carlson*



BIRDSONG DESIGN GROUP  
 NEWCASTLE HOMES RENOVATIONS



**FIRST FLOOR ELECTRICAL PLAN**



**FIRST FLOOR JOIST PLAN**

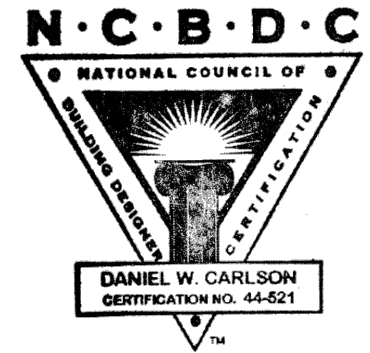
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 Austin, TX 78703  
 Lot 14, Sunny Ridge Addition

BONE-RINN  
 REMODEL

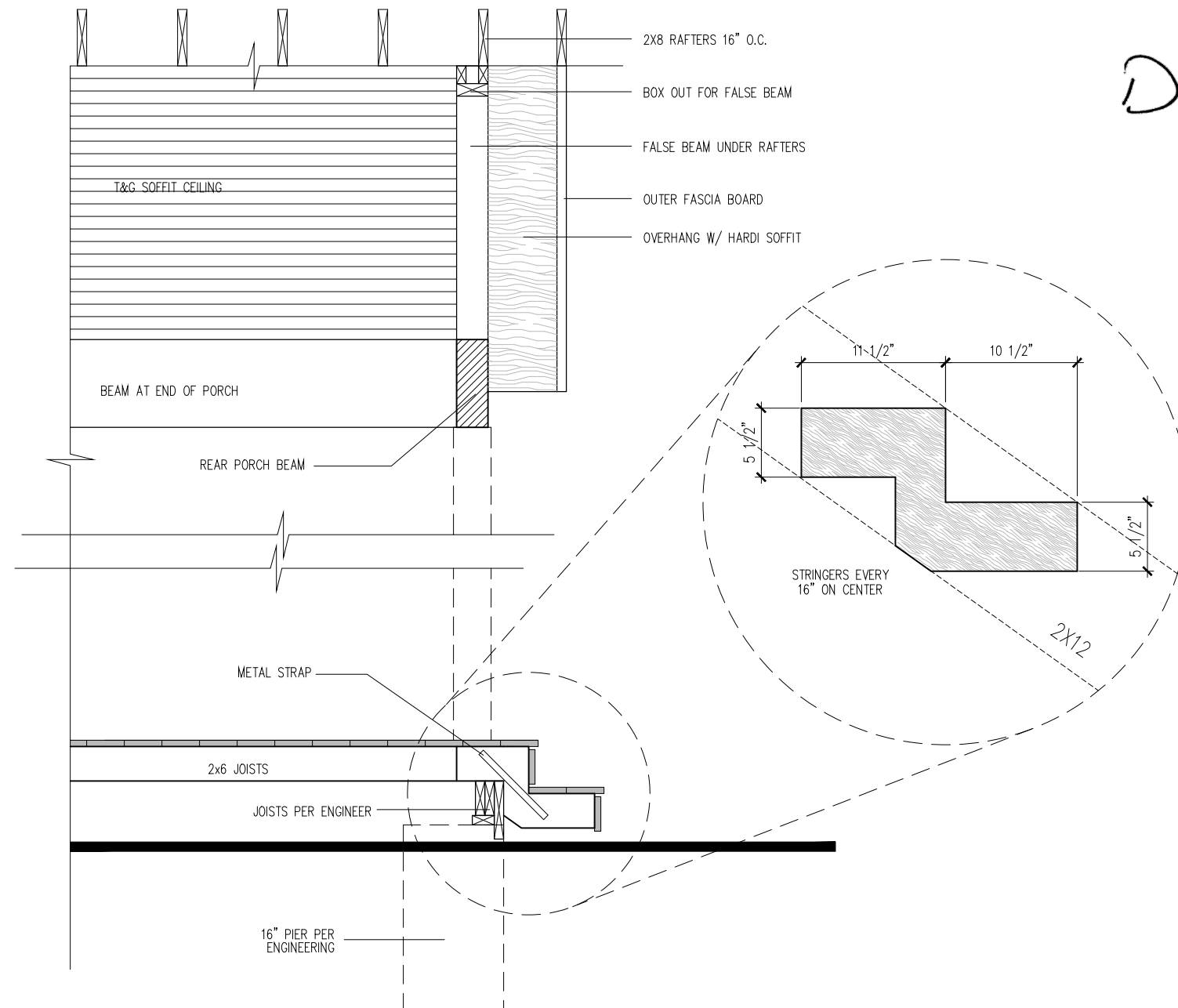
Electrical Plan  
 Joist Plan

**A6.0**



September 3, 2024

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REAR PORCH SECTION



BIRDSONG  
DESIGN GROUP

NEWCASTLE HOMES RENOVATIONS

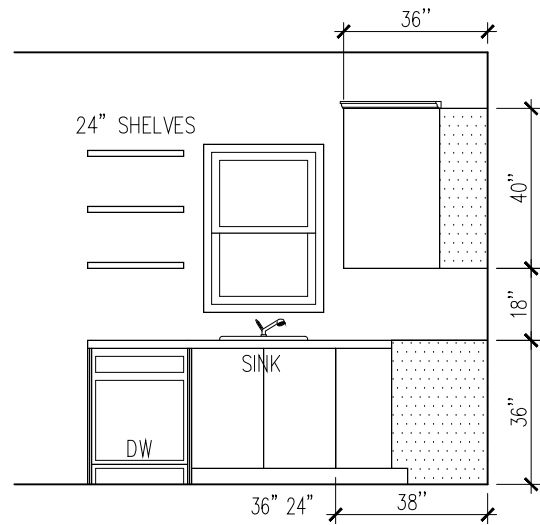
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Austin, TX 78703  
Lot 14, Sunny Ridge Addition

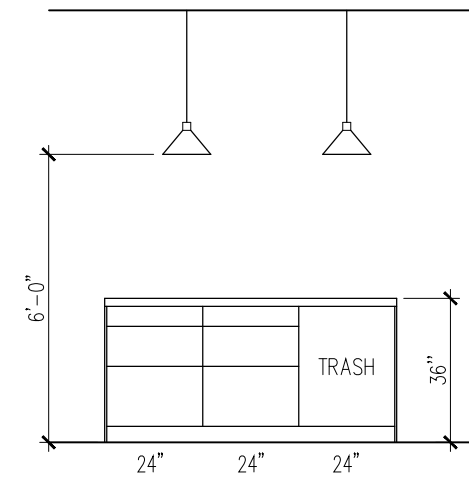
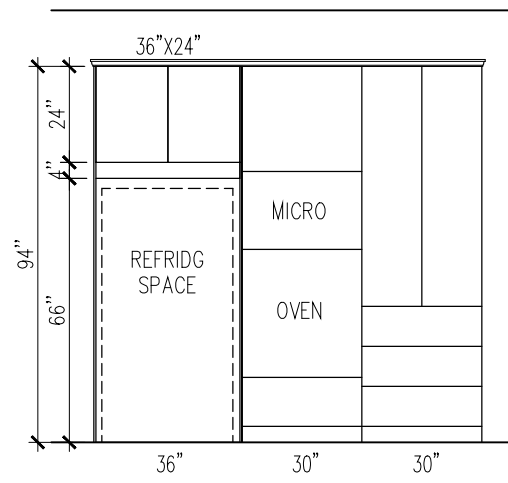
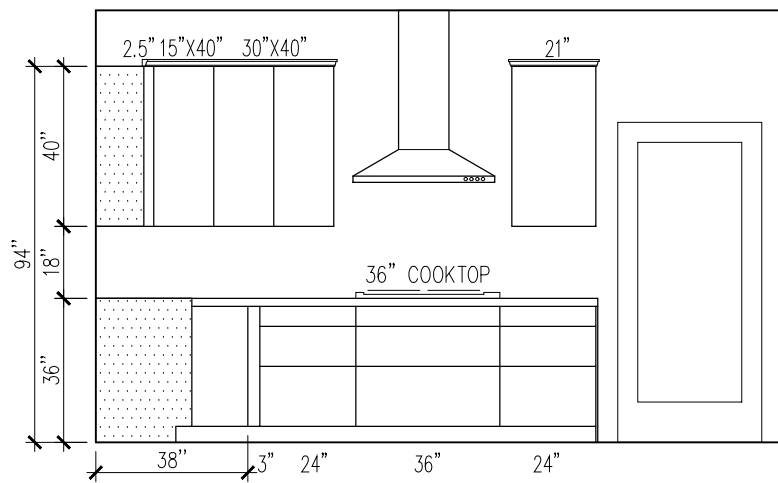
BONE-RINN  
REMODEL

Rear Porch  
Section

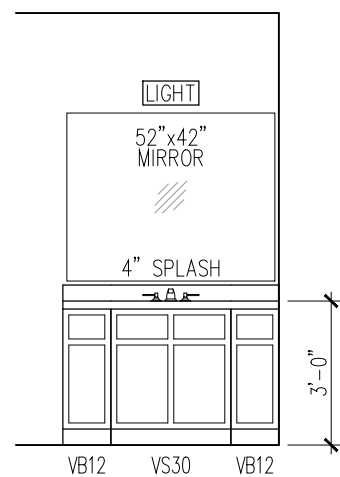
**A6.1**



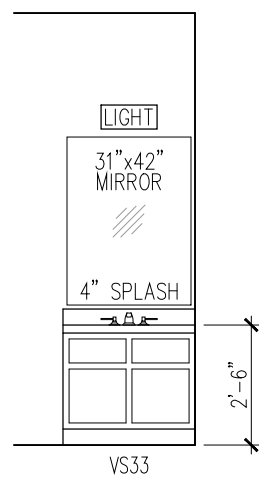
KITCHEN



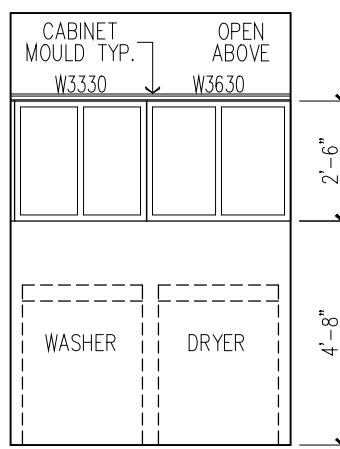
KITCHEN ISLAND



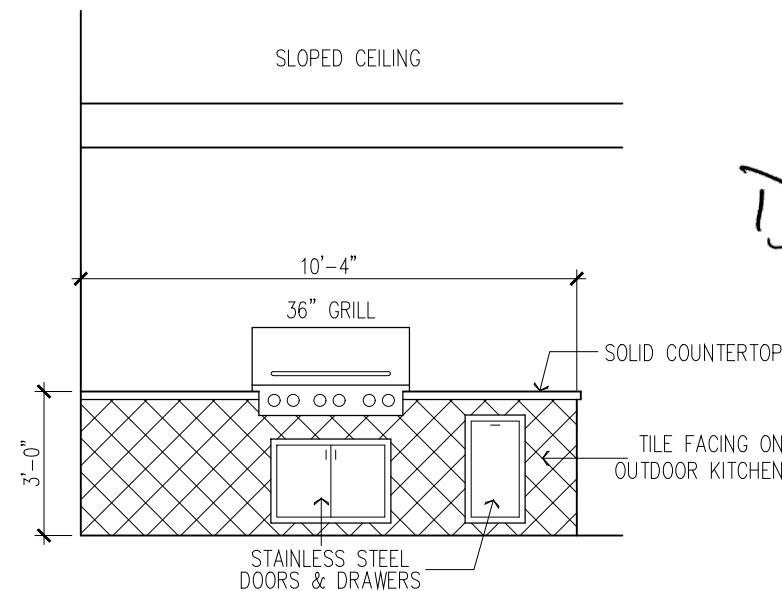
BATH 1



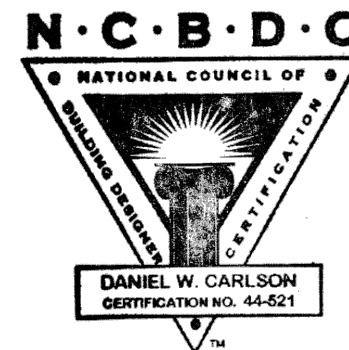
POOL BATH



UTILITY



OUTDOOR LIVING



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